

MILIONI SETBACK

1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE 9300 OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES. EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNED TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
3. ALL SETBACK DISTANCES ARE TAKEN FROM THE QUERMOST PROJECTION AS DEFINED BY THE QDC.
4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL ON VILLA ALLOTMENTS 453 TO 456, 458, 459, 471, 478, 494, 495, 550 TO 552, 557, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 50% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO BMP FROM THE SIDE BOUNDARY.
6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION 4.8(1) OR 4.8(2) OF 9 METRE TRUNCATION, CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

FOR CONTINUATION REFER DWG. CT-1403-42

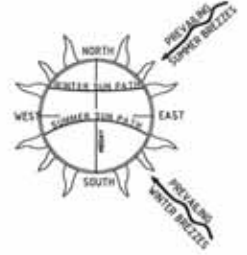
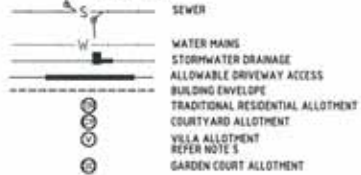
ALLOWABLE DRIVEWAY ACCESS

1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.8M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL, PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH.
 - c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION, AND
 - d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.

LEGEND



No.	Amendments	By	Apprd	Date	No.	Amendments	By	Apprd	Date
F	AMENDED TO SUIT COUNCIL REQUIREMENTS	AM	JL	04.04.20					
E	AS CONSTRUCTED	B.J.J	JL	20/02/09					
D	CONSTRUCTION ISSUE	W.E.B	J.L	16.08.07					
C	AMENDED AS PER COT REQUIREMENTS	B.J.J	J.L	05.06.07					
B	AMENDED AS PER COT LETTER 09.03.07	B.J.J	J.L	04.05.07					
A	ORIGINAL ISSUE	JAM	JL	22.12.06					

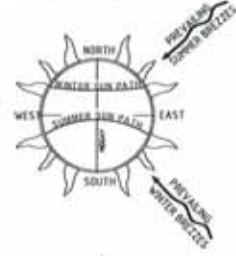
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Drawn	J.A.M	Project	
Checked	M.K.B.	File	
Original Approved By	J.L.		
RREQ No.	0848		
Date	JUNE 2007		
Datum	A.M.D.		

URBEX PTY LTD
KALYNDA STAGE 5A, 5B & 5C
ACCESS AND BUILDING ENVELOPE PLAN (SHEET 1 OF 10)
 FOR CONSTRUCTION
 Drawing No. **CT-1403-41**
 Rev **F**

FOR CONTINUATION REFER DWG. CT-1403- 44



BUILDING SETBACK

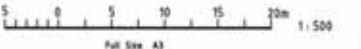
1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES, EXCEPT THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNED TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M2 OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
3. ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL OR VILLA ALLOTMENTS 453 TO 456, 458, 459, 471, 478, 484, 495, 558 TO 562, 567, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO SMP FROM THE SDE BOUNDARY.
6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A101 (B) (C) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

ALLOWABLE DRIVEWAY ACCESS

1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.4M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - (b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH.
 - (c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION, AND
 - (d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.



FOR CONTINUATION REFER DWG. CT-1403- 41

#	AMENDED TO SUIT COUNCIL REQUIREMENTS	AM	DATE	BY	APPROVED
A	AS CONSTRUCTED	N.J.J	20/03/08		
B	CONSTRUCTION ISSUE	N.E.B	18/06/07		
C	AMENDED AS PER COT REQUIREMENTS	S.J.J	05/06/07		
D	AMENDED ASP PER COT LETTER 08/03/07	S.J.J	04/03/07		
E	ORIGINAL ISSUE	J.A.M	23/12/06		

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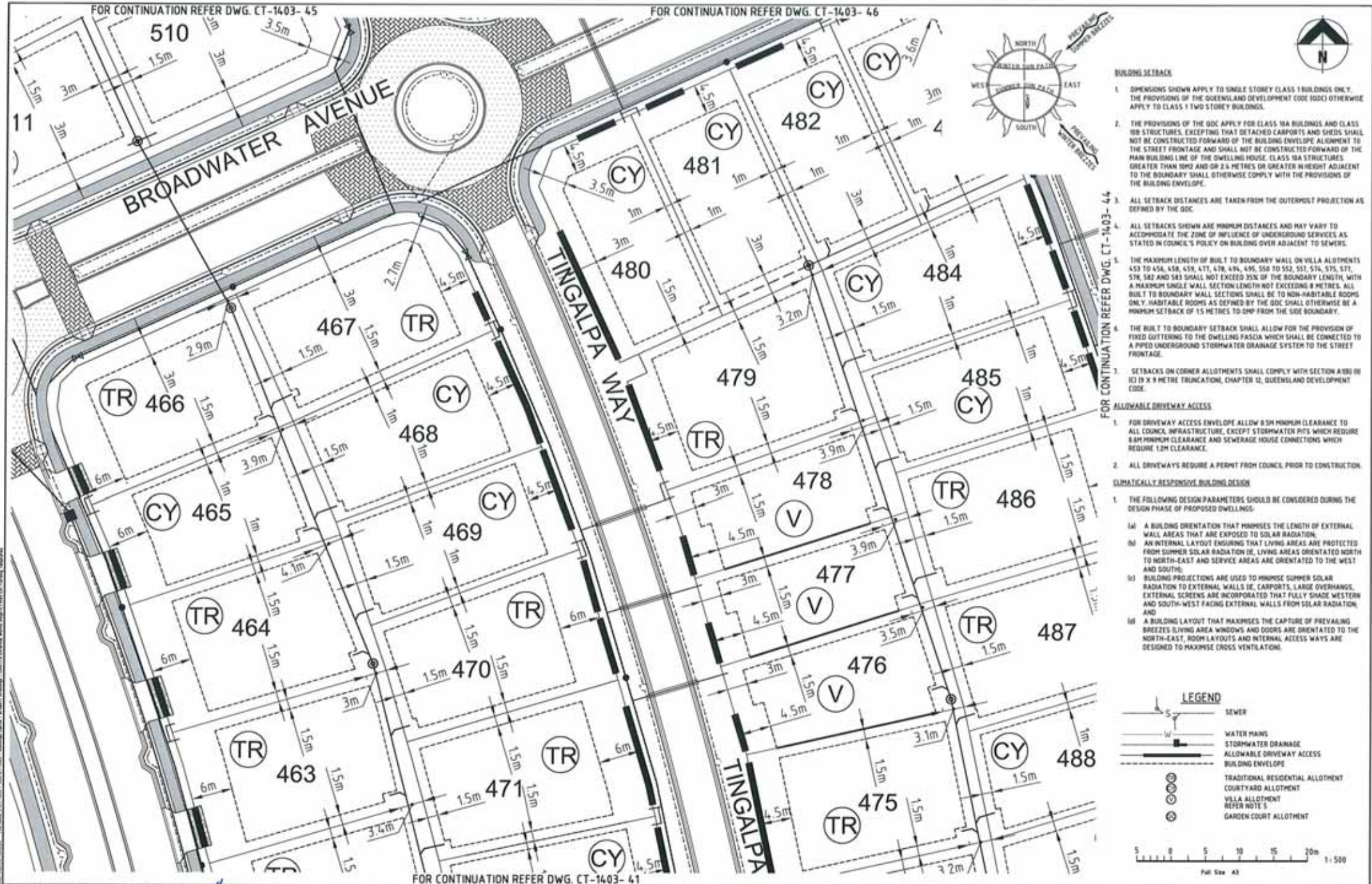
Design	D.F.A.
Drawn	J.A.M.
Checked	D.F.A.
Original Approval By	J.L.
RPEQ No	8948
Date	JUNE 2007
Datum	A.H.D.

URBEX PTY LTD
KALYNDA STAGE 5A, 5B & 5C

Client
 Project
 Title

ACCESS AND BUILDING ENVELOPE PLAN (SHEET 2 OF 10)

FOR CONSTRUCTION
 Drawing No.
CT-1403-42
 Rev
F



FOR CONTINUATION REFER DWG. CT-1403-45

FOR CONTINUATION REFER DWG. CT-1403-46

FOR CONTINUATION REFER DWG. CT-1403-44

FOR CONTINUATION REFER DWG. CT-1403-41

BUILDING SETBACK

1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES, EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M2 AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
3. ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL ON VILLA ALLOTMENTS 453 TO 454, 458, 459, 471, 478, 484, 495, 558 TO 562, 571, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO GMP FROM THE SIDE BOUNDARY.
6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERS TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION 4.80(1)(C) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

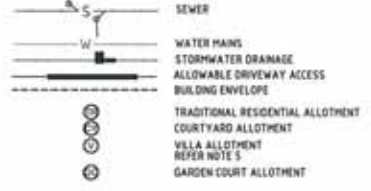
ALLOWABLE DRIVEWAY ACCESS

1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.8M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL, PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION;
 - (b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION IE, LIVING AREAS ORIENTATED NORTH AND NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH;
 - (c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION; AND
 - (d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.

LEGEND



Scale: 1:500
Full Size A3

No.	Amendments	By	Apprd	Date	No.	Amendments	By	Apprd	Date
F	AMENDED TO SUIT COUNCIL REQUIREMENTS	AM	JL	16.04.20					
E	AS CONSTRUCTED	S.J.J	JL	20.03.06					
D	CONSTRUCTION ISSUE	WEB	JL	18.08.07					
C	AMENDED AS PER COT REQUIREMENTS	S.J.J	JL	05.09.07					
B	AMENDED AS PER COT LETTER 09.03.07	S.J.J	JL	04.03.07					
A	ORIGINAL ISSUE	JAM	JL	23.12.04					

No.	Amendments	By	Apprd	Date	No.	Amendments	By	Apprd	Date

BMD CONSULTING
Civil Engineers
Structural Engineers
& Project Managers

Design: D.F.A.
Drawn: J.A.M.
Checked: D.F.A.
Original Approved By: J.L.
RPEQ No: 9948
Date: JUNE 2007
Datum: A.H.D.

Project: URBEX PTY LTD
KALYNDA STAGE 5A, 5B & 5C

FOR CONSTRUCTION

Drawing No: CT-1403-43
Rev: F

ACCESS AND BUILDING ENVELOPE PLAN (SHEET 3 OF 10)



BUILDING SETBACK

1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 1A BUILDINGS AND CLASS 1B STRUCTURES, EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 1A STRUCTURES GREATER THAN 10M AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
3. ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY MALL ON VILLA ALLOTMENTS 453 TO 456, 458, 459, 471, 476, 484, 495, 558 TO 562, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO OHP FROM THE SIDE BOUNDARY.
6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERING TO THE DWELLING FACIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A101 III (C) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

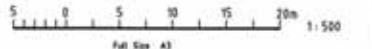
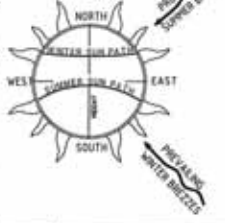
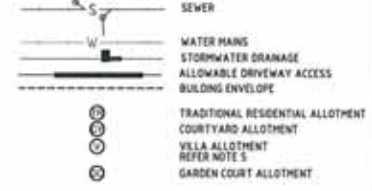
ALLOWABLE DRIVEWAY ACCESS

1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 8.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 6.5M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION;
 - (b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION IE, LIVING AREAS ORIENTED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTED TO WEST AND SOUTH;
 - (c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION, AND
 - (d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.

LEGEND



FOR CONTINUATION REFER DWG. CT-1403- 43

FOR CONTINUATION REFER DWG. CT-1403- 47

FOR CONTINUATION REFER DWG. CT-1403- 42

No.	Amendments	By	Appr.	Date	No.	Amendments	By	Appr.	Date
F	AMENDED TO SUIT COUNCIL REQUIREMENTS	AM	JL	15.04.09					
E	AS CONSTRUCTED	S.J.J.	J.A.M.	20/03/08					
D	CONSTRUCTION ISSUE	WEB	J.A.	16.09.07					
C	AMENDED AS PER COT REQUIREMENTS	S.J.J.	J.A.	09.09.07					
B	AMENDED AS PER COT LETTER 04.05.07	S.J.J.	J.A.	04.05.07					
A	ORIGINAL ISSUE	JAM	J.A.	22.12.06					



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Drawn	J.A.M.	Project	
Checked	D.F.A.	Title	
Original Agreement By	JL		
RPEQ No.	5948		
Date	JUNE 2007		
Date	A.H.D.		

URBEX PTY LTD
KALYNDA STAGE 5A, 5B & 5C
ACCESS AND BUILDING ENVELOPE
PLAN (SHEET 4 OF 10)

FOR CONSTRUCTION
 Drawing No. CT-1403-44
 Rev F

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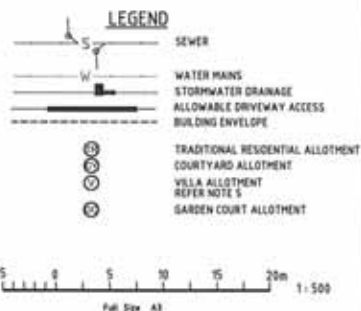
FOR CONTINUATION REFER DWG. CT-1403- 49



- BUILDING SETBACK**
1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
 2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES. EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNED TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M² OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
 3. ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
 4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
 5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL ON VILLA ALLOTMENTS 453 TO 456, 458, 459, 477, 478, 486, 495, 508 TO 552, 557, 576, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 1.5 METRES TO OHP FROM THE SIDE BOUNDARY.
 6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIKED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
 7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A10(1) IN 2019 X 9 METRE TRUNCATION, CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

- ALLOWABLE DRIVEWAY ACCESS**
1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 800MM MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 800MM MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1200 CLEARANCE.
 2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

- CLIMATICALLY RESPONSIVE BUILDING DESIGN**
1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - (b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION I.E. LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH.
 - (c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS I.E. CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION, AND
 - (d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.



FOR CONTINUATION REFER DWG. CT-1403- 43

No.	Amendment	By	Appl	Date	No.	Amendment	By	Appl	Date
F	AMENDED TO SUIT COUNCIL REQUIREMENTS	JAM		19.04.08					
E	AS CONSTRUCTED	S.J.J		20/03/08					
D	CONSTRUCTION ISSUE	WES		16.08.07					
C	AMENDED AS PER COT REQUIREMENTS	SJJ	J.A.	06.06.07					
B	AMENDED AS PER COT LETTER 06.03.07	SJJ	J.A.	06.06.07					
A	ORIGINAL ISSUE	JAM	J.A.	22.12.04					

No.	Amendment	By	Appl	Date	No.	Amendment	By	Appl	Date

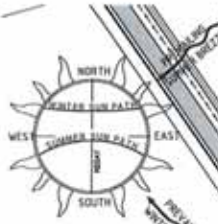


BMD CONSULTING Civil Engineers Structural Engineers & Project Managers

Design: D.F.A. Client: URBEX PTY LTD
 Drawn: J.A.M. Project: KALYNDIA STAGE 5A, 5B & 5C
 Checked: D.F.A.
 Original Approved By: J.L.
 RPECO No: 5948
 Date: JUNE 2007
 Datum: A.H.D.

URBEX PTY LTD
KALYNDIA STAGE 5A, 5B & 5C
ACCESS AND BUILDING ENVELOPE PLAN (SHEET 5 OF 10)
FOR CONSTRUCTION
 Drawing No: CT-1403-45
 Rev: F

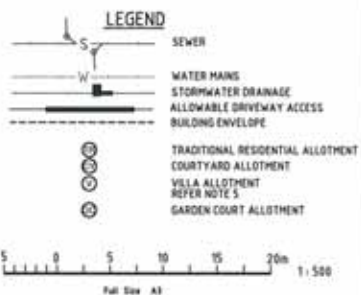
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- BUILDING SETBACK**
1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
 2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 1/1A BUILDINGS AND CLASS 1/1B STRUCTURES, EXCEPT THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNED TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 1/1A STRUCTURES GREATER THAN 10M² AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
 3. ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
 4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
 5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL ON VILLA ALLOTMENTS 453 TO 454, 45A, 45B, 45C, 471, 476, 478, 479, 508 TO 552, 557, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 30% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO OHP FROM THE SIDE BOUNDARY.
 6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FROD GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
 7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A1/11 III (D) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

- ALLOWABLE DRIVEWAY ACCESS**
1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 8.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 6.5M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
 2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

- CLIMATICALLY RESPONSIVE BUILDING DESIGN**
1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - (b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH.
 - (c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION AND
 - (d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.



FOR CONTINUATION REFER DWG. CT-1403-43

FOR CONTINUATION REFER DWG. CT-1403-44

#	AMENDED TO SUIT COUNCIL REQUIREMENTS	AM	18.04.20
B	AS CONSTRUCTED	B,J,L	20/05/20
D	CONSTRUCTION ISSUE	WBS, JAL	18.09.07
C	AMENDED AS PER COT REQUIREMENTS	B,J,L	06.06.07
B	AMENDED AS PER COT LETTER 04.03.07	B,J,L	04.03.07
A	ORIGINAL ISSUE	JAM	23.12.06

No.	Amendments	By	Appr	Date	No.	Amendments	By	Appr	Date



BMD CONSULTING
Civil Engineers
Structural Engineers
& Project Managers
484 St 474 St 482

Design: O.P.A.
Drawn: J.A.M.
Checked: O.P.A.
Original Approval By: J.L.
RPED No: 2948
Date: JUNE 2007
Datum: A.H.D.

URBEX PTY LTD
KALYNDA STAGE 5A, 5B & 5C

ACCESS AND BUILDING ENVELOPE PLAN (SHEET 6 OF 10)

FOR CONSTRUCTION
Drawing No: CT-1403-46
Rev: F

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FOR CONTINUATION REFER DWG. CT-1403-46

FOR CONTINUATION REFER DWG. CT-1403-48

FOR CONTINUATION REFER DWG. CT-1403-44

BUILDING SETBACK

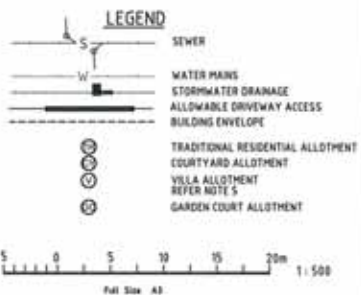
1. DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
2. THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES, EXCEPT THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
3. ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
5. THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL OR VILLA ALLOTMENTS 453 TO 456, 458, 459, 471, 478, 479, 495, 550 TO 552, 557, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO OHP FROM THE SIDE BOUNDARY.
6. THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FOXED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
7. SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A3B1 III (D) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

ALLOWABLE DRIVEWAY ACCESS

1. FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.8M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

1. THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (a) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - (b) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH.
 - (c) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION, AND
 - (d) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION.



No.	Amendments	By	Apprd	Date	No.	Amendments	By	Apprd	Date
1	AS CONSTRUCTED	AM		22.05.08					
2	CONSTRUCTION ISSUE	WBB	JL	18.08.07					
3	AMENDED AS PER COT REQUIREMENTS	SJJ	JL	05.08.07					
4	AMENDED AS PER COT LETTER	SJJ	JL	04.08.07					
5	ORIGINAL ISSUE	JAM	JL	12.12.06					

kalynnda chose **urbex**

BMD CONSULTING Civil Engineers Structural Engineers & Project Managers
 Design: D.F.A. Drawn: J.A.M. Checked: D.F.A. Original Approved By: J.L. RPEQ No: 5948 Date: JUNE 2007 Datum: A.H.D.

URBEX PTY LTD
KALYNDA STAGE 5A, 5B & 5C
ACCESS AND BUILDING ENVELOPE PLAN (SHEET 7 OF 10)
 FOR CONSTRUCTION Drawing No. CT-1403-47 Rev E



FOR CONTINUATION REFER DWG. CT-1403-46

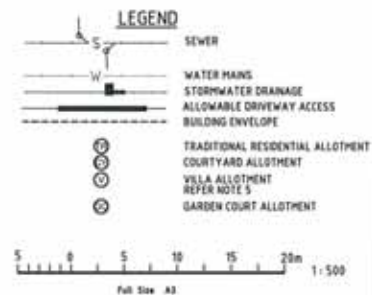
FOR CONTINUATION REFER DWG. CT-1403-47



- BUILDING SETBACK**
- DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
 - THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES, EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M² AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
 - ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
 - ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
 - THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL OR VILLA ALLOTMENTS 453 TO 456, 458, 459, 477, 478, 494, 495, 550 TO 552, 557, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 1.5 METRES TO OHP FROM THE SIDE BOUNDARY.
 - THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
 - SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION 4.100 (D) (C) 19 X 9 METRE TRIANGULATION, CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

- ALLOWABLE DRIVEWAY ACCESS**
- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
 - ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

- CLIMATICALLY RESPONSIVE BUILDING DESIGN**
- THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION (IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH).
 - BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS (IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENING ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION, AND
 - A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES (LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION).



No.	Amendments	By	App'd	Date	No.	Amendments	By	App'd	Date
B	AS CONSTRUCTED	AM	[Signature]	22.03.04					
D	CONSTRUCTION ISSUE	WEB	JL	16.03.07					
C	AMENDED AS PER COT REQUIREMENTS	RJJ	JL	06.06.07					
A	AMENDED AS PER COT LETTER 09-03-07	RJJ	JL	04.03.07					
B	ORIGINAL ISSUE	JAM	JL	22.12.04					



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Design	D.F.A.	Client	
Drawn	J.A.M.	Project	
Checked	D.F.A.	Title	
Original Approved By	JL	Date	JUNE 2007
RFQ/PO No.	0848	Drawn	A.M.D.

URBEX PTY LTD

KALYNDA STAGE 5A, 5B & 5C

ACCESS AND BUILDING ENVELOPE PLAN (SHEET 8 OF 10)

FOR CONSTRUCTION

Drawing No. **CT-1403-48** Rev **E**



FOR CONTINUATION REFER DWG. CT-1403- 45

No.	Amendment	By	Appr.	Date	No.	Amendment	By	Appr.	Date
B	AS CONSTRUCTED	JAM	JL	22.05.04					
C	CONSTRUCTION ISSUE	WES	JL	16.03.07					
C	AMENDED AS PER COT REQUIREMENTS	BJJ	JL	06.06.07					
B	AMENDED AS PER COT LETTER 09.03.07	BJJ	JL	04.09.07					
A	ORIGINAL ISSUE	JAM	JL	22.12.04					



BMD CONSULTING
Civil Engineers
Structural Engineers
& Project Managers

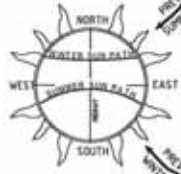
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Design: D.F.A.
Drawn: J.A.M.
Checked: D.F.A.
Original Approved By: J.L.
RFP/03 No: 5948
Date: JUNE 2007
Datum: A.M.D.

Client: URBEX PTY LTD
Project: KALYNDA STAGE 5A, 5B & 5C
Title: ACCESS AND BUILDING ENVELOPE PLAN (SHEET 9 OF 10)

FOR CONSTRUCTION
Drawing No: CT-1403-49
Rev: E



FOR CONTINUATION REFER DWG. CT-1403-49

FOR CONTINUATION REFER DWG. CT-1403-46

BUILDING SETBACK

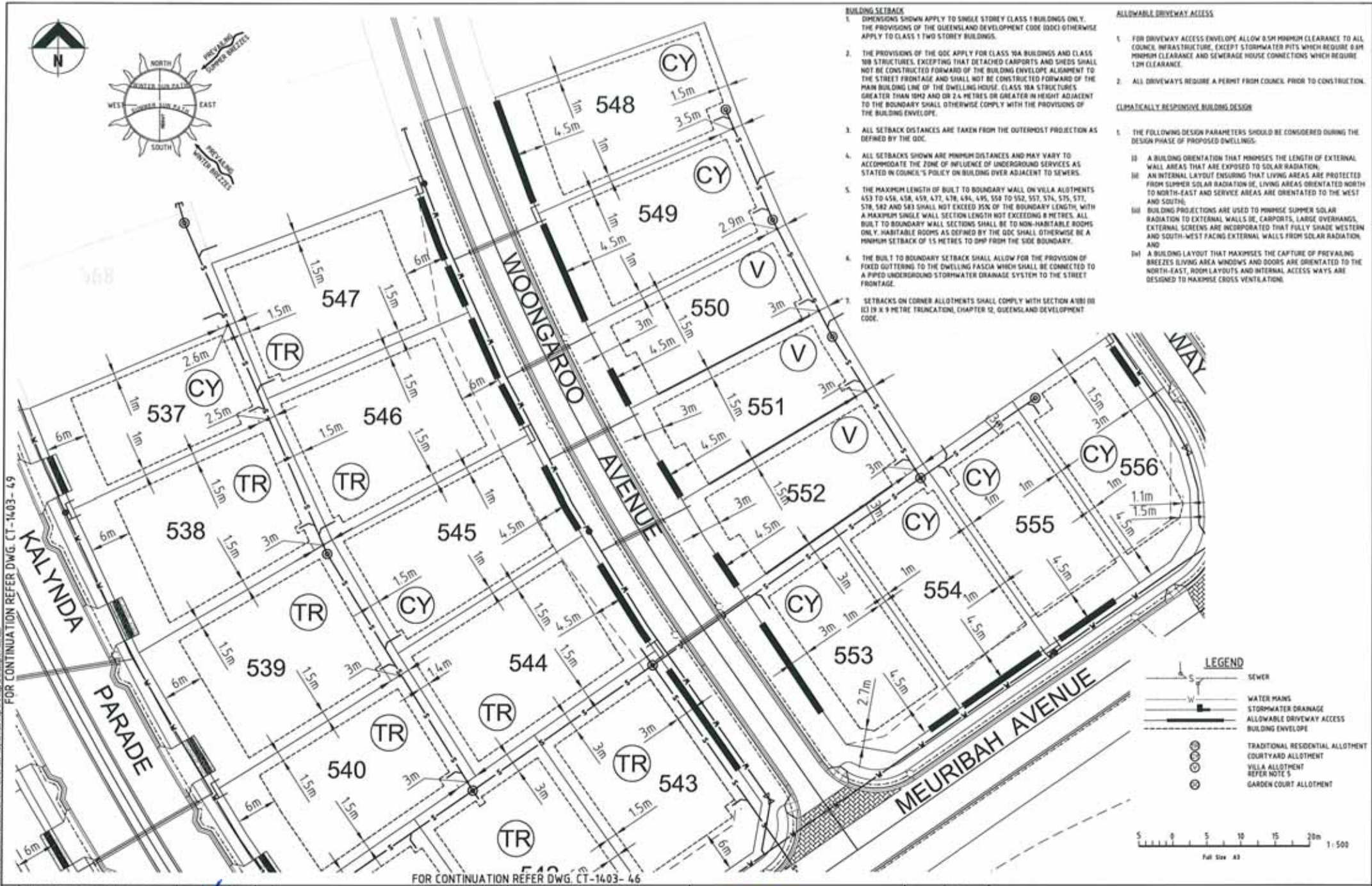
- DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (DDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
- THE PROVISIONS OF THE DDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES, EXCEPT THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET'S FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M2 AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
- ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE DDC.
- ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
- THE MAXIMUM LENGTH OF BUILT TO BOUNDARY WALL ON VILLA ALLOTMENTS 453 TO 456, 458, 459, 472, 478, 494, 495, 508 TO 502, 527, 574, 575, 577, 578, 582 AND 583 SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE DDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 15 METRES TO SHP FROM THE SIDE BOUNDARY.
- THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED OUTLETTING TO THE DWELLING FACSA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
- SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A181 OR (C) 19 X 9 METRE TRUNCATIONAL CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

ALLOWABLE DRIVEWAY ACCESS

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.8M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

- THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - (i) A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION.
 - (ii) AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION (IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH).
 - (iii) BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS (IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION AND
 - (iv) A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES (LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION).



LEGEND

- SEWER
- WATER MAINS
- STORMWATER DRAINAGE
- ALLOWABLE DRIVEWAY ACCESS
- BUILDING ENVELOPE
- TRADITIONAL RESIDENTIAL ALLOTMENT
- COURTYARD ALLOTMENT
- VILLA ALLOTMENT
- REFER NOTE 5
- GARDEN COURT ALLOTMENT



No.	Amendment	By	Appr	Date	Nr.	Amendment	By	Appr	Date
F	AMENDED TO SUIT COUNCIL REQUIREMENTS	JAM	JL	06.06.08					
E	AS CONSTRUCTED	JAM	JL	22.05.08					
D	CONSTRUCTION ISSUE	WES	JL	18.05.07					
C	AMENDED AS PER COT REQUIREMENTS	SAJ	JL	05.06.07					
B	AMENDED AS PER COT LETTER 09.02.07	SAJ	JL	04.05.07					
A	ORIGINAL ISSUE	JAM	JL	23.12.06					

No.	Amendment	By	Appr	Date	Nr.	Amendment	By	Appr	Date



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Design	D.F.A.
Drawn	J.A.M.
Checked	D.F.A.
Original Approved By	J.L.
REF'D No.	1846
Date	JUNE 2007
Author	A.H.D.

Client: **URBEX PTY LTD**
 Project: **KALYNDIA STAGE 5A, 5B & 5C**
 Title: **ACCESS AND BUILDING ENVELOPE PLAN (SHEET 10 OF 10)**

FOR CONSTRUCTION	
Drawing No.	Rev
CT-1403-50	F

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