

BUILDING SETBACK

- DIMENSIONS SHOWN APPLY TO SINGLE STOREY CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY BUILDINGS.
- THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES. EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE. CLASS 10A STRUCTURES GREATER THAN 10M² AND OR 2.4 METRES OR GREATER IN HEIGHT ADJACENT TO THE BOUNDARY SHALL OTHERWISE COMPLY WITH THE PROVISIONS OF THE BUILDING ENVELOPE.
- ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION AS DEFINED BY THE QDC.
- ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT TO SEWERS.
- THE MAXIMUM LENGTH OF BUILT-TO-BOUNDARY WALL ON VILLA ALLOTMENTS SHALL NOT EXCEED 35% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 8 METRES. ALL BUILT TO BOUNDARY WALL SECTIONS SHALL BE TO NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS AS DEFINED BY THE QDC SHALL OTHERWISE BE A MINIMUM SETBACK OF 1.5 METRES TO OMP FROM THE SIDE BOUNDARY.
- THE BUILT TO BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM TO THE STREET FRONTAGE.
- SETBACKS ON CORNER ALLOTMENTS SHALL COMPLY WITH SECTION A1(B) (II) (C) (9 X 9 METRE TRUNCATION), CHAPTER 12, QUEENSLAND DEVELOPMENT CODE.

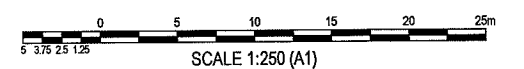
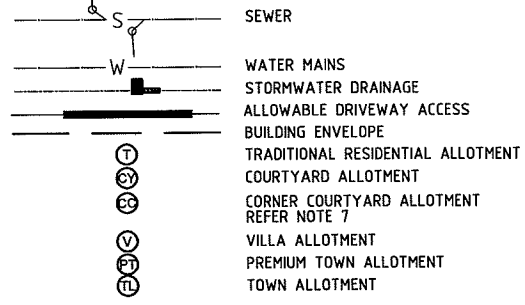
ALLOWABLE DRIVEWAY ACCESS

- FOR DRIVEWAY ACCESS ENVELOPE ALLOW 0.5M MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6M MINIMUM CLEARANCE AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2M CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

CLIMATICALLY RESPONSIVE BUILDING DESIGN

- THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
 - A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION;
 - AN INTERNAL LAYOUT ENSURING THAT LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION (IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH);
 - BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS (IE, CARPORTS, LARGE OVERHANGS, EXTERNAL SCREENS ARE INCORPORATED THAT FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS FROM SOLAR RADIATION; AND
 - A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES (LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST, ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION).

LEGEND



DO NOT SCALE, USE ONLY THE DIMENSIONS PROVIDED

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No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
F	VILLA ALLOTMENTS UPDATED	AM	JL	07.03.08					
E	FOR CONSTRUCTION	AM	JL	05.03.08					
D	AMMENDED AS PER COT LETTER 4.01.08	EJC	JL	15.01.08					
C	STREET NAME CHANGED TO BREMER COURT	SJJ	JL	05/12/07					
B	AMENDED AS PER COT LETTER 07.09.07	EJC	JL	16.11.07	H	AS CONSTRUCTED	AM	JL	25.08.08
A	ORIGINAL ISSUE	EJC	JL	25.07.07	G	AMENDED AS PER CLIENT REQUEST	AM	JL	10.06.08

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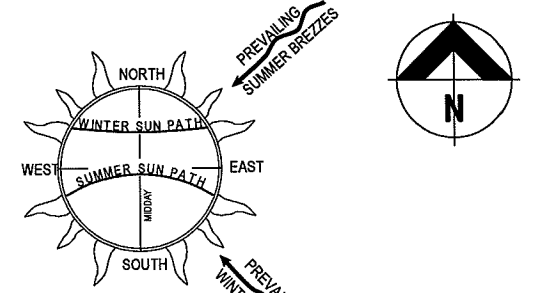
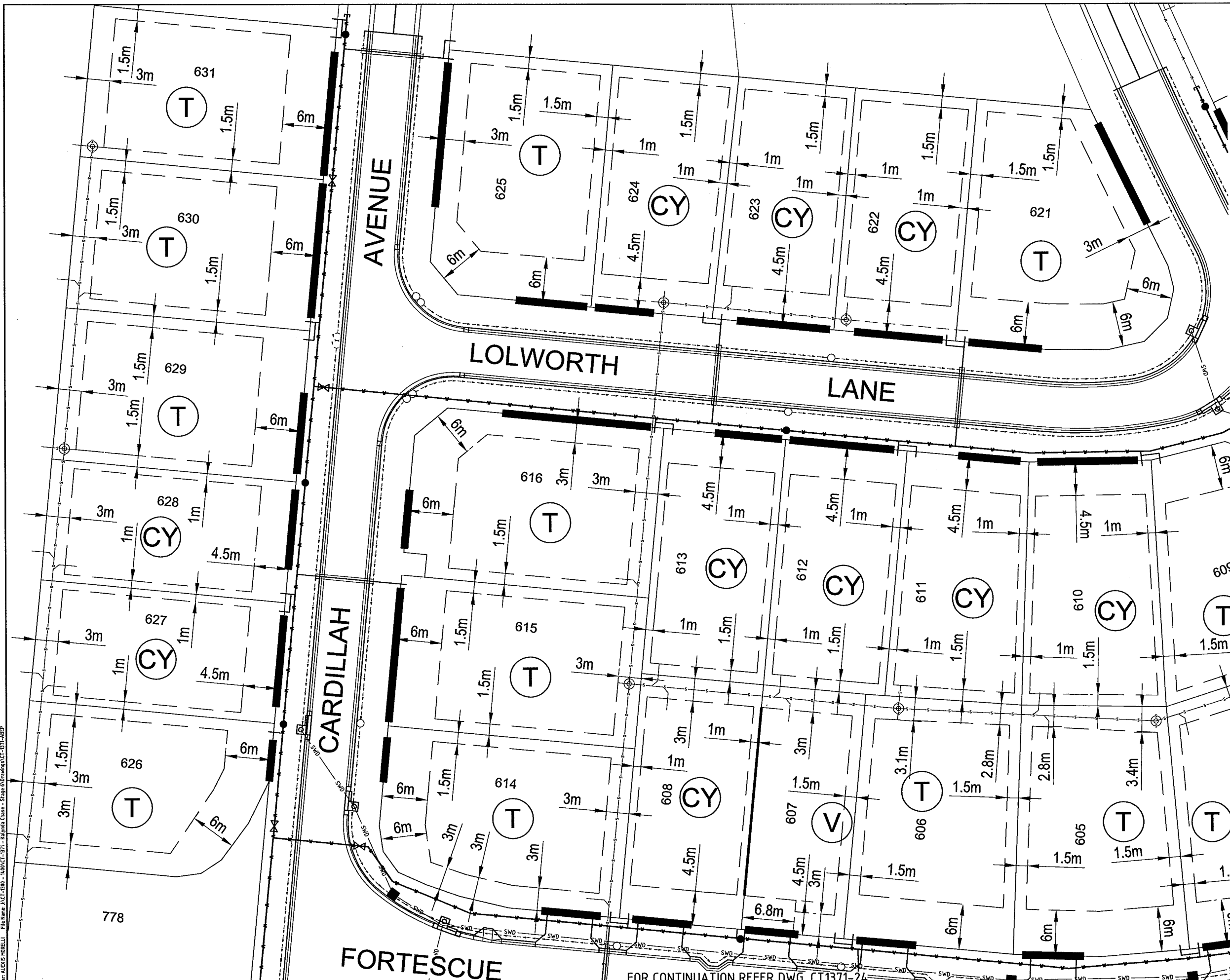
Townsville Office
 57 Mitchell Street
 Townsville
 P.O. Box 6009
 Townsville MC, QLD 4810
 Ph: (07) 4750 7000
 Fax: (07) 4750 7077
 email: bmdcon@bmd.com.au
 www.bmd.com.au

Head Office - Brisbane
 Ph: (07) 3888 1511
 Sydney Office
 Ph: (02) 8888 5400
 Cairns Office
 Ph: (07) 4035 1544

Design	EJC
Drawn	EJC
Checked	PAV
Original Approved By:	JL
RPEQ No.	5948
Date	NOV '07
Datum	A.H.D.

Client
 URBEX PTY. LTD.
Project
 KALYNDACHASE STAGE 6A
Title
 ACCESS AND BUILDING ENVELOPE PLAN
 (SHEET 1 OF 3)
AS CONSTRUCTED
 Drawing No. CT1371-24
 Rev H

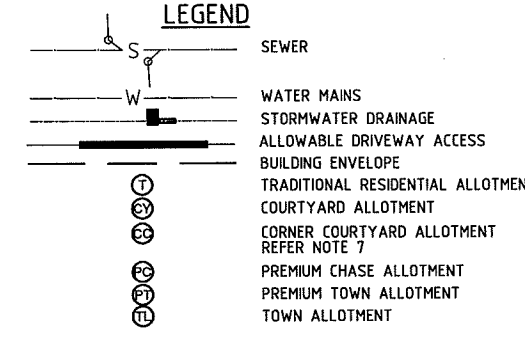
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SCALE 1:250 (A1)
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User: ALEXIS MORRELL File Name: JACT-200 - INDUCTION - 1371 - 1474.dwg Stage: 6/10/2008 10:52:25 AM

No.	Amendments	By	Appd	Date	No.	Amendments	By	Appd	Date
F	LOT BNDY AND DRIVEWAYS MOVED	FMG	JL	13.06.08					
E	AMENDED AS PER CLIENT REQUEST	AM	JL	10.06.08					
D	FOR CONSTRUCTION	AM	JL	05.03.08					
C	AMENDED AS PER COT LETTER 4.01.08	EJC	JL	15.01.08					
B	AMENDED AS PER COT LETTER 07.09.07	EJC	JL	16.11.07	H	AS CONSTRUCTED	AM	JL	25.08.08
A	ORIGINAL ISSUE	EJC	JL	25.07.07	G	LOT BOUNDARY UPDATED TO SUIT ERGON	AM	JL	16.06.08

kalynda chase urbex

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Civil Engineers
Structural Engineers
& Project Managers
ABN 23 010 743 692

Design	EJC
Drawn	EJC
Checked	PAV
Original Approved By:	JL
RPEQ No.	5948
Date	NOV '07
Datum	A.H.D.

URBEX PTY. LTD.

KALYNDIA CHASE STAGE 6A

ACCESS AND BUILDING ENVELOPE PLAN
(SHEET 2 OF 3)

AS CONSTRUCTED

Drawing No. **CT1371-25** Rev **H**



BUILDING SETBACK

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ALLOWABLE DRIVEWAY ACCESS

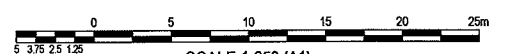
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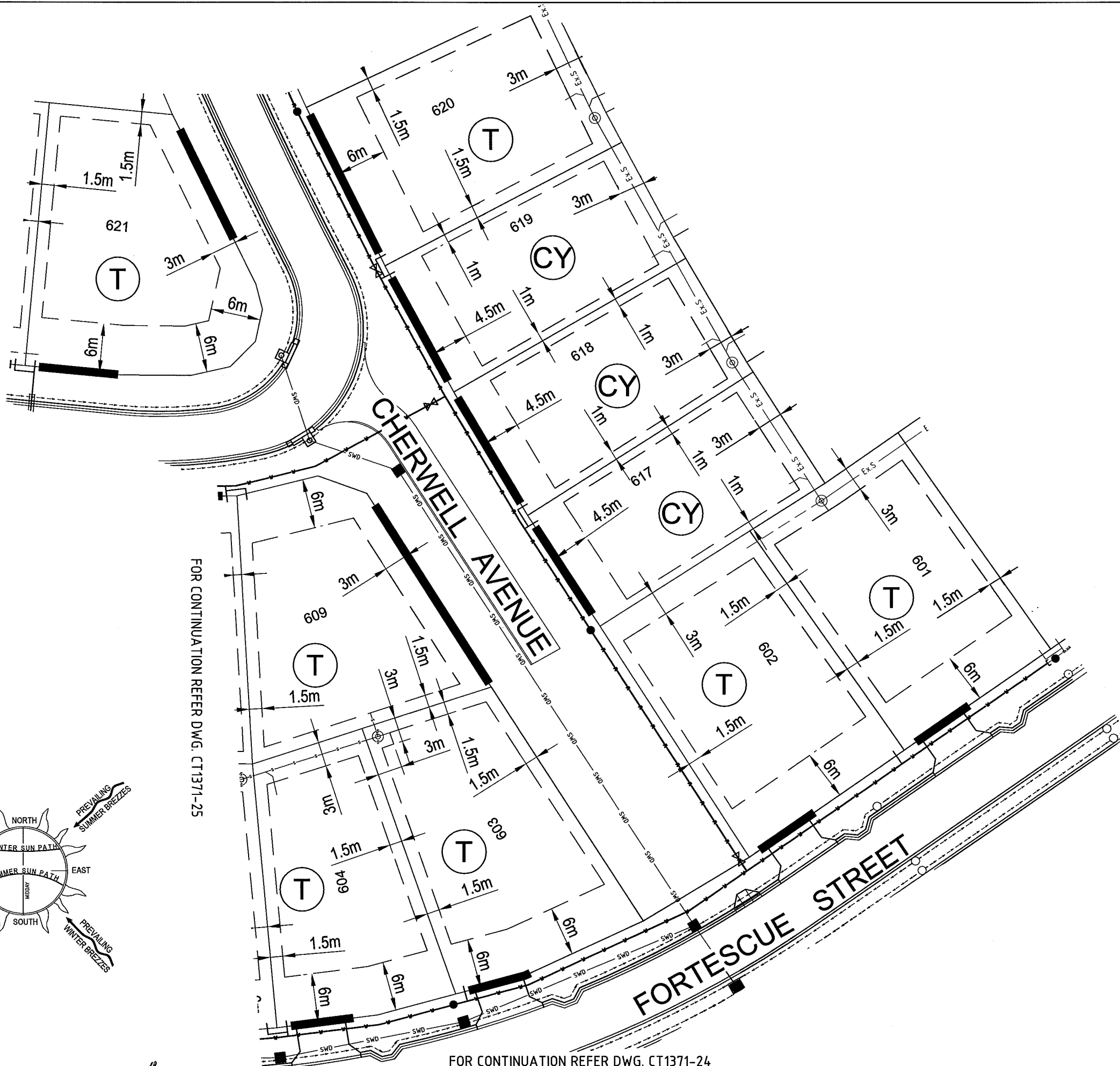
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LEGEND

- SEWER
- WATER MAINS
- STORMWATER DRAINAGE
- ALLOWABLE DRIVEWAY ACCESS
- BUILDING ENVELOPE
- TRADITIONAL RESIDENTIAL ALLOTMENT
- COURTYARD ALLOTMENT
- CORNER COURTYARD ALLOTMENT REFER NOTE 5
- PREMIUM CHASE ALLOTMENT
- PREMIUM TOWN ALLOTMENT
- TOWN ALLOTMENT

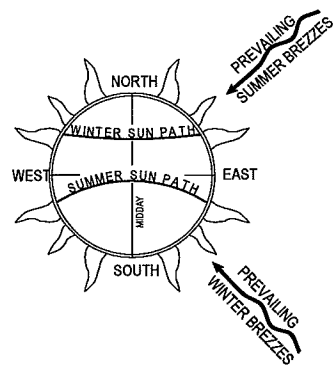


SCALE 1:250 (A1)
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FOR CONTINUATION REFER DWG. CT1371-25

FOR CONTINUATION REFER DWG. CT1371-24



User: ALEXIS MORELLI File Name: J:\CT-318 - 143\CT-317 - Kalynda Chase - Stage 6\Drawings\CT-317-48P

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F	AS CONSTRUCTED	AM	JL	25.08.08					
E	AMENDED AS PER CLIENT REQUEST	AM	JL	10.06.08					
D	FOR CONSTRUCTION	AM	JL	05.03.08					
C	AMENDED AS PER COT LETTER 4.01.08	EJC	JL	15.01.08					
B	AMENDED AS PER COT LETTER 07.09.07	EJC	JL	16.11.07					
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kalynnda chase **urbex**

BMD CONSULTING
Civil Engineers
Structural Engineers
& Project Managers
ABN 23 010 743 692

Townsville Office
57 Mitchell Street
Townsville
P.O. Box 9938
Townsville MC, QLD 4810
Ph: (07) 4750 7000
Fax: (07) 4750 7077
email: bmd@bmdconsulting.com.au
www.bmd.com.au

Head Office - Brisbane
Ph: (07) 3833 1511
Sydney Office
Ph: (02) 9898 5400
Calms Office
Ph: (07) 4035 1544

Design	EJC
Drawn	EJC
Checked	PAV
Original Approved By:	JL
RPEQ No.	5948
Date	NOV '07
Datum	A.H.D.

Client	URBEX PTY. LTD.	
Project	KALYNDA CHASE STAGE 6A	
Title	ACCESS AND BUILDING ENVELOPE PLAN (SHEET 3 OF 3)	
	AS CONSTRUCTED	
Drawing No.	CT1371-26	Rev
		F

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